



DOWNTOWN | MAIN STREET

ARCHITECTURAL DEVELOPMENT STANDARDS

2026

THE DOWNTOWN | MAIN STREET VISION

Fort Howard corridor is a vision for Rincon's future where thoughtful planning, quality architecture, and connected public spaces create a cohesive and walkable community. Fort Howard establishes a strong sense of place through coordinated urban form, pedestrian-oriented design, and high-quality development. A place with purpose designed to bring people, architecture, and the public realm into a cohesive and engaging environment that enhances daily life and fosters a strong sense of identity.

The Downtown | Main Street framework includes two distinct districts that work together to shape the character of the corridor. The Main Street District establishes a more urban, mixed-use environment focused on storefront activity, walkability, and an activated public realm, while the Fort Howard Overlay District emphasizes neighborhood-scaled development, residential character, landscape integration, and architectural continuity along the corridor. Rooted in simplicity, durability, and pedestrian-oriented design, the Fort Howard corridor is intended to create a lasting and cohesive environment where buildings shape the street, and the street shapes community life.

Cornerstones

DOWNTOWN IDENTITY

Establishing a recognizable and cohesive sense of place through consistent architectural character, high-quality materials, and a defined urban form that reflects the aspirations of Rincon's future.

WALKABLE URBAN FORM

Prioritizing the pedestrian experience through build-to lines, narrower street corridors, wide sidewalks, and active streets that support daily interaction and connectivity.

MIXED-USE LIVING

Creating a vibrant environment where retail, office, and residential uses coexist, activating the ground level while supporting a dynamic, livable community above.

COMMUNITY OVER SUBDIVISION

Designing interconnected neighborhoods that foster interaction, shared spaces, and long-term value, moving beyond isolated development toward a cohesive and integrated community.

ARCHITECTURAL QUALITY

Requiring buildings that are carefully composed, proportioned, and detailed, emphasizing depth, craftsmanship, and materials that contribute to a lasting and visually rich environment.

BALANCED GROWTH

Encouraging a mix of housing types and densities, including workforce and senior living, to support an inclusive and sustainable community.

FLEXIBILITY THROUGH DESIGN

Allowing thoughtful flexibility through incentive-based standards, ensuring that innovation and creativity are supported while maintaining the overall vision and quality of the district.



ARCHITECTURAL INFLUENCE

The architecture of the Fort Howard corridor is shaped by the character of the Lowcountry and the vision for Rincon's future downtown. Rather than replicating a single style, the district draws from regional patterns, materials, and proportions to create a cohesive and timeless built environment.

Design shall balance tradition and contemporary expression, grounded in durability, simplicity, and human scale while reinforcing a strong and unified sense of place.

LOWCOUNTRY INFLUENCE

Climate | Materials | Craft

- Respond to climate with shading, porches, and depth
- Use natural, durable materials (brick, cast stone, wood, stone)
- Emphasize texture, shadow, and layered facades
- Avoid applied or superficial detailing

DOWNTOWN PATTERN

Form | Proportion | Rhythm

- Buildings define the street edge
- Consistent build-to lines create continuity
- Vertical proportions establish rhythm
- Clear base, middle, and top articulation

BUILT TO LAST

Durability | Simplicity | Cohesion

- Long-lasting, high-quality materials required
- Restrained and cohesive material palette
- Detailing emphasizes depth and craftsmanship
- Avoid short-term trends and inconsistent finishes



DESIGN REVIEW & SUBMITTAL PROCESS

All development within the Main Street District and the Fort Howard Overlay District shall follow a structured design review process to ensure consistency with these standards and the overall vision for the corridor.

Projects will be reviewed for alignment with the applicable district standards, including urban form, architectural character, streetscape requirements, and neighborhood context. Applicants are expected to familiarize themselves with the standards applicable to their district designation, building type, frontage condition, and site context prior to beginning design. Early coordination with the City or Design Review Authority is encouraged to streamline approvals and support successful project outcomes.

Alternative design solutions may be considered where proposals meet or exceed the intent of these standards and contribute positively to the overall vision and character of the district.

SUBMITTAL 1 CONCEPT Big picture alignment with vision and urban form. Conceptual Review This initial submittal establishes the overall project approach and confirms alignment with the vision. Includes: • Site layout and building placement • Massing and height strategy • Proposed uses (mixed-use, residential, etc.) • Preliminary architectural character and materials • Relationship to street and public realm	SUBMITTAL 2 DESIGN Architectural development coordination. Design Development Review Following conceptual approval, the project shall advance into detailed architectural and site design. Includes: • Building elevations and facade composition and articulation • Materials, colors, and architectural detailing • Openings, storefront design, and entrances • Streetscape interface and landscape approach • Compliance with architectural standards	SUBMITTAL 3 BUILD Final compliance and building permit approval. Final / Construction Review Final coordination and verification of compliance prior to building permit approval and construction. Includes: • Compliance with build-to lines, storefront standards, and parking placement • Final construction drawings • Confirmed materials and finishes • Site-specific conditions (utilities) • Compliance with established architectural variety and facade articulation standards, landscaping, and streetscape standards
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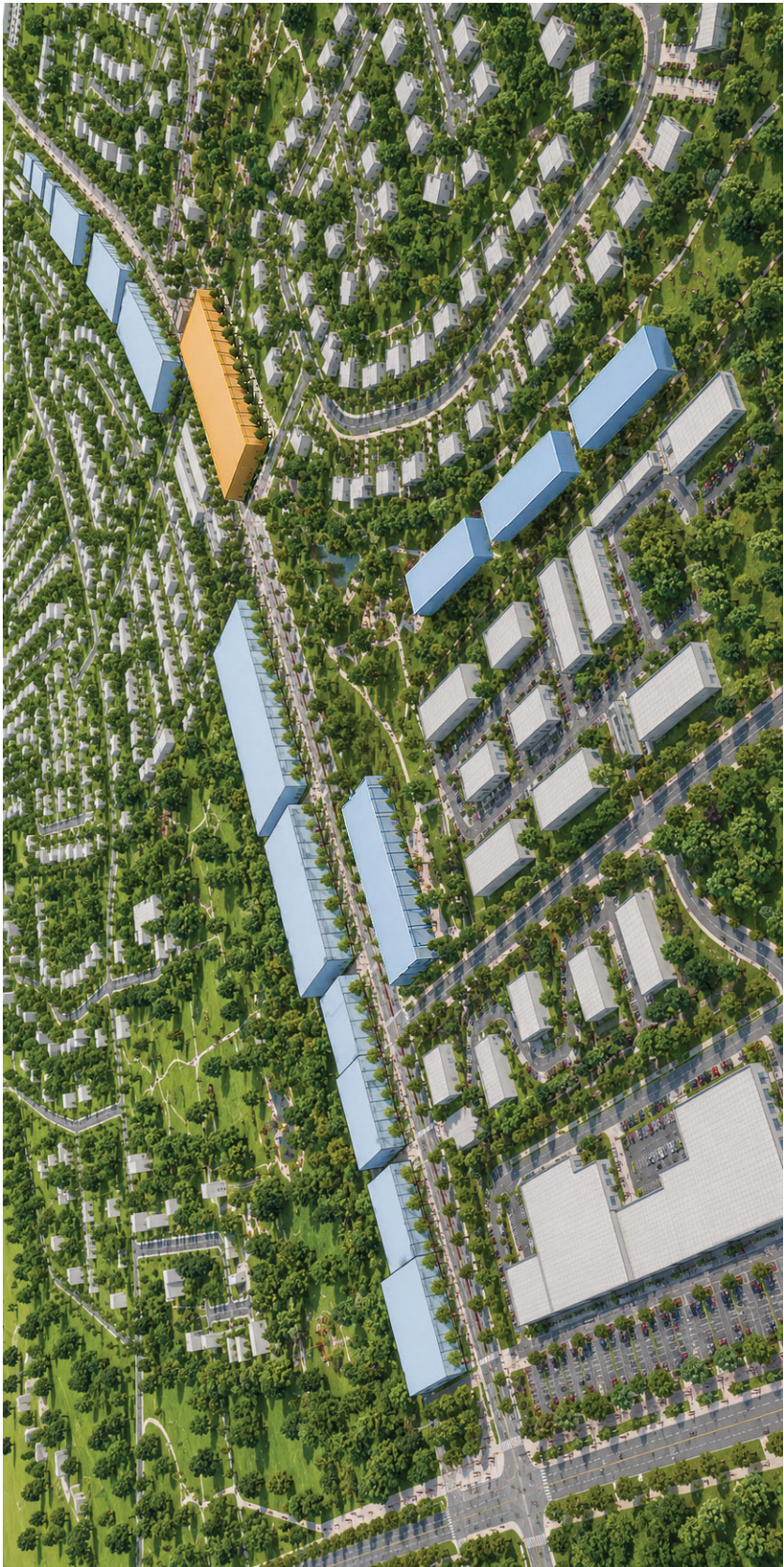
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Mixed-use
development

Library

OVERLAY DISTRICT & URBAN FORM STANDARDS

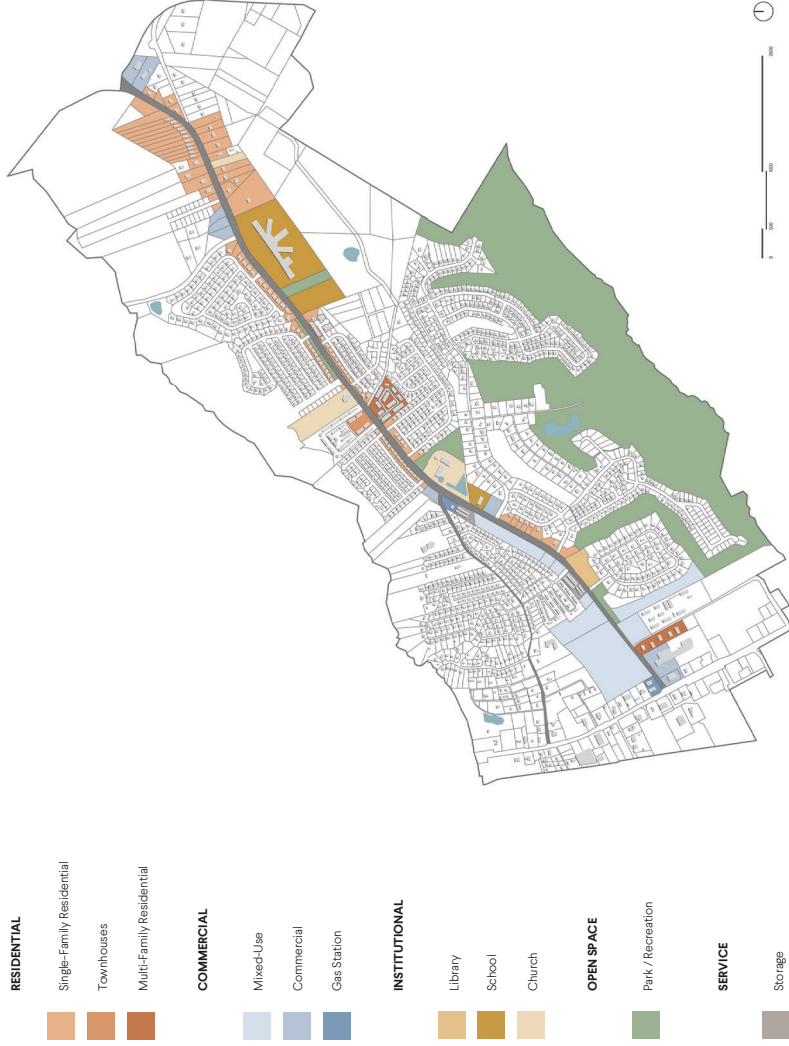
DISTRICT FRAMEWORK

Main Street District - along FH corridor, from 21 to Weisenbaker

The Main Street District is intended to create a compact, walkable, mixed-use environment focused on active storefronts, pedestrian-oriented streets, coordinated streetscape design, and a continuous urban street wall.

Fort Howard Overlay District - along FH corridor, from Weisenbaker to Old Augusta

The Fort Howard Overlay District is intended to support neighborhood-scaled residential development, residential character, landscape integration, architectural variety, and pedestrian-oriented streetscapes along the corridor.



OVERLAY DISTRICT & URBAN FORM STANDARDS

A. URBAN FORM REQUIREMENTS

Main Street District

- Build-to lines shall replace traditional front setback conditions along primary Main Street frontages.
- A minimum of 80% of the primary frontage shall align with the build-to line.
- Residential development within the Main Street District should support compact, walkable densities consistent with the overall vision of the district. Target residential densities shall range between 20 and 30 dwelling units per acre, subject to zoning and development review.
- Ground-floor transparency shall range between 60% and 75% along primary storefront frontages.
- Primary entrances shall occur at intervals no greater than 50 feet to reinforce pedestrian activity, accessibility, and storefront rhythm.

Fort Howard Overlay District

- Townhome buildings shall not exceed 8 units per building unless otherwise approved through the design review process.

B. DEVELOPMENT STANDARDS (PUD)

- Development within the Main Street District and Fort Howard Overlay District may utilize Planned Unit Development (PUD) zoning to support coordinated site planning, mixed-use development, and integrated neighborhood design.
- Developments shall incorporate interconnected street networks and avoid isolated or disconnected site layouts.
- Open spaces shall be usable, accessible, and integrated into the overall development framework.
- Residential developments are encouraged to incorporate a mix of housing types and densities that support a diverse and walkable community.
- Townhome and mixed residential developments should consider opportunities for age-targeted or senior-oriented housing where appropriate.
- Senior living or civic uses may be considered for alternative height configurations where compatible with the district vision.

C. VISUAL COMPATIBILITY & DESIGN REVIEW CRITERIA

Development proposals shall be evaluated based on their compatibility with the overall vision and architectural character of the district. Design review considerations may include:

- Building scale and relationship to adjacent structures
- Facade proportions, composition, and articulation
- Rhythm and spacing of openings, storefronts, and entrances
- Roof forms, parapets, and overall building silhouette
- Consistency and compatibility of materials and color palettes
- Continuity of street walls and pedestrian-oriented frontage conditions
- Integration of streetscape, landscaping, and public realm elements
- Overall contribution to a cohesive and walkable district character

D. DEVELOPMENT INCENTIVES

- Projects that exceed baseline architectural, streetscape, or urban design standards may be considered for administrative flexibility or incentive-based adjustments as determined through the design review process.
- Flexibility related to site design, parking, or development intensity may be considered where projects demonstrate exceptional architectural quality, enhanced streetscape conditions, superior materials, or meaningful public realm improvements.
- Enhanced architectural detailing, public open space, pedestrian amenities, and coordinated mixed-use development patterns are encouraged and may qualify for additional development flexibility.

E. FLEXIBILITY & ALTERNATIVE COMPLIANCE

These standards are intended to encourage high-quality development while allowing flexibility in architectural expression and site design. Alternative design solutions may be considered by the Design Review Authority where the proposed approach meets or exceeds the intent of these standards and contributes positively to the overall vision and character of the districts.

OVERLAY DISTRICT & URBAN FORM STANDARDS

F. BUILDING PLACEMENT & STREET WALL

- Mixed-use buildings shall maintain shallow floor plate depths that support storefront activation, walkability, and access to natural light. Buildings exceeding 60 feet in depth may require additional design review.
- Front porches, stoops, and residential entries shall reinforce pedestrian engagement and neighborhood character.

G. HEIGHT & SCALE

- Buildings within the district shall range from two to five stories unless otherwise approved through the design review process.
- Ground-floor commercial and mixed-use spaces within the Main Street District shall provide a minimum floor-to-floor height of 13 feet to support storefront proportions, flexibility of use, and an active pedestrian environment. Upper floors shall provide a minimum floor-to-floor height of 10 feet.
- Ground-floor residential and townhouse shall provide a minimum floor-to-floor height of 11 feet. Upper floors shall provide a minimum floor-to-floor height of 10 feet.
- Building height, massing, and facade articulation shall reinforce pedestrian scale and overall street proportion.
- Facades shall incorporate articulation, vertical bays, or material transitions at regular intervals every 25-40 feet to reduce perceived mass and reinforce pedestrian scale.
- Upper-floor step-backs may be considered where appropriate to reduce perceived mass or create opportunities for balconies, terraces, or enhanced pedestrian experience.

H. GROUND FLOOR ACTIVATION

Main Street District

- Storefront glazing shall reinforce visual connection between interior spaces and the public realm through transparent, pedestrian-oriented storefront design.
- Storefront glazing shall extend from the sill or base condition to the storefront header or lintel to reinforce storefront rhythm and pedestrian activity.
- Blank walls exceeding 20 feet are prohibited along primary public streets.
- Ground-floor frontages along primary streets shall consist primarily of retail, restaurant, office, civic, or other active commercial uses that support pedestrian activity.
- Upper floors within mixed-use buildings shall incorporate residential, office, lodging, or civic uses.

I. SERVICE, LOADING & UTILITIES

- Service areas, loading zones, dumpsters, and mechanical equipment shall be screened from public view.
- Deliveries and service access shall be located from side streets or secondary frontages where feasible.
- Truck access along primary pedestrian corridors shall be minimized and limited primarily to local deliveries during off-peak hours, between 6:00 AM and 10:00 AM unless otherwise approved by the City.
- HVAC equipment, utility meters, trash enclosures, loading areas, and similar service elements shall be screened from public view and integrated into the overall site and building design.
- Service areas shall be located along secondary frontages or screened locations where feasible.
- Mechanical and service elements shall not dominate primary pedestrian frontages or interfere with the streetscape character.

J. STREETSCAPE ELEMENTS

- Streetscape improvements shall include wide sidewalks, pedestrian-scale lighting, street trees, furnishings, landscaping, and pedestrian-oriented amenities that support walkability and active street life.
- Outdoor dining, seating areas, porches, plazas, and similar pedestrian-oriented encroachments are encouraged where integrated into the sidewalk zone, streetscape frontage, or public realm design.
- Street furnishings, lighting fixtures, benches, planters, trash receptacles, bike racks, and similar elements shall be coordinated in material, scale, and character throughout the district to reinforce a cohesive streetscape identity.
- Street trees shall be provided at regular intervals, spaced between 20 - 30 feet on center, subject to streetscape design and utility coordination.
- Pedestrian-scale lighting fixtures shall be mounted between 12 - 16 feet in height to reinforce walkability and a human-scaled streetscape environment.

K. SIGNAGE

- Signage shall be integrated into the architectural composition of the building and scaled to the pedestrian environment.
- Signage shall align with storefront bays, facade rhythm, and architectural features.
- Externally illuminated or halo-lit signage shall be used in lieu of internally illuminated box signage.
- Oversized, highly illuminated, or visually dominant signage shall not be permitted.

ARCHITECTURAL VARIETY STANDARDS

Architectural variety standards are intended to create a visually cohesive streetscape while avoiding repetitive building patterns. Variation shall be achieved through building form, facade composition, materials, colors, roof forms, and architectural detailing appropriate to each building type and district character.

REQUIRED STANDARDS

- Adjacent buildings or units shall not utilize identical elevations without meaningful variation.
- A minimum of two distinctly different elevations shall be provided within each block face before repeating an elevation.
- A minimum of 2–3 lots shall separate identical or substantially similar elevations.
- No more than three consecutive townhouse or mixed-use modules shall utilize substantially similar facade compositions or massing patterns.
- Where similar building modules or unit layouts are used, facades shall incorporate meaningful variation, including changes in:
 - Roof form and massing
 - Window size and placement
 - Porch configuration
 - Architectural detailing
- Exterior colors shall be selected from the approved Fort Howard color palette included in these guidelines.
- Variation in color application may include:
 - Primary and secondary colors
 - Trim and accent colors
 - Material combinations
- Buildings utilizing identical or similar color combinations shall be appropriately spaced to avoid visual repetition along the street.

APPLICATION BY BUILDING TYPE

DISTRICT CHARACTER

Main Street District

Building facades shall reinforce a traditional downtown rhythm through vertically proportioned storefront bays and clearly defined facade divisions.

Fort Howard Overlay District

Residential buildings shall emphasize porches, individual entries, material variation, and human-scaled facade composition.

BUILDING TYPES

Mixed-Use & Commercial Buildings:

- Mixed-use and commercial buildings shall be organized into vertically proportioned bays that reflect traditional downtown patterns.
- Ground floors shall incorporate fully articulated storefront systems with recessed entries, defined frames, and base elements.
- Continuous horizontal storefront bands or flat, unarticulated facades are not permitted.

Residential Buildings (Duplex, Townhomes):

- Residential buildings shall express architectural variety through changes in massing, materials, roof forms, porch configurations, entry elements, and facade articulation while maintaining a cohesive neighborhood character.
- Townhome developments shall reinforce individual unit identity through vertical divisions, varied entry elements, and differentiated facade composition.
- Materials shall be used to differentiate units while maintaining overall cohesion.
- Changes in material, color, or detailing shall align with vertical divisions between units.
- Repetition shall be minimized through controlled variation.

ARCHITECTURAL VARIETY - ILLUSTRATIVE ELEVATION



DOWNTOWN OVERLAY DISTRICT - LOT STANDARDS

Lot Development Standards	
Front Build-to-Line	10'-15'
Frontage Requirement (Minimum)	80%
Setback (from rear property line)	20'
Setback (from side property line)	5'
Maximum Lot Coverage	80%

Off Street Parking Requirements	
Use	Parking Standard
Amusement Facility	2/1000 sf floor area
Apartment	2/dwelling unit
Athletic Club or Gymnasium	2/1000 sf floor area
Boarding House / Bed & Breakfast	1/room for rent + 2 spaces /1000 sf office
Business & Professional Offices	2/1000 sf floor area
Church	1/6 seats
Community Center	2/1000 sf floor area
Cultural Facilities	2/1000 sf floor area
Duplex	2/dwelling unit
Food Truck	-----
Health Services	2/1000 sf floor area
Library	2/1000 sf floor area
Micro-brewery	4/1000 sf floor area
Mixed-Use	2/dwelling unit (parking for non-residential portion will be determined based on use)
Nano-brewery	4/1000 sf floor area
Nursery, Plant, & Retail	2/1000 sf floor area
Public Park	1/5,000 sf of activity area
Restaurants	6/1000 sf floor area
Retail & Personal Services	2/1000 sf floor area
Townhome	2/dwelling unit

STREET DESIGN

STREET DESIGN INTENT

Main Street District

Streets shall prioritize pedestrian activity through widened sidewalks, street trees, storefront frontage, and on-street parking.

On-street parking is encouraged to support retail activity and buffer pedestrians from vehicular traffic.

Fort Howard Overlay District

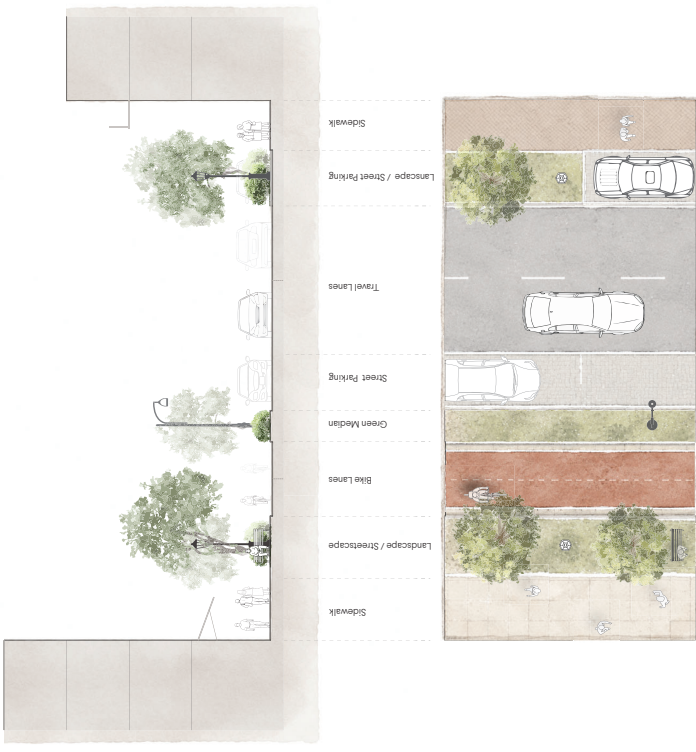
Streets shall emphasize pedestrian comfort, residential landscape character, and neighborhood-scaled frontage conditions.

Street trees, planting zones, and front porches shall contribute to a residential streetscape environment.



GENERAL STREET DESIGN STANDARDS

- Streets shall be designed to balance vehicular movement with pedestrian comfort through the use of street trees, on-street parking, and reduced lane widths.
- The relationship between buildings and the street shall prioritize walkability, visibility, and active use.
- Primary pedestrian corridors shall incorporate sidewalks ranging from 8 to 12 feet in width, depending on frontage conditions and district context.



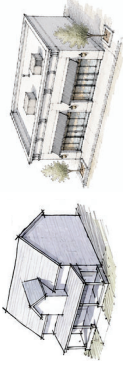
DESIGN STANDARDS

ROOFS

Roof design shall contribute to the overall architectural character of the Fort Howard corridor and reinforce a cohesive streetscape while allowing variation that supports architectural diversity.

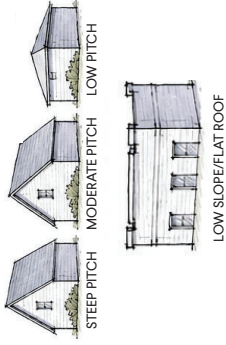
MASSING

- Roof massing shall be simple, well-proportioned, and integrated with the overall building form.
- Long, uninterrupted roof profiles shall be avoided.



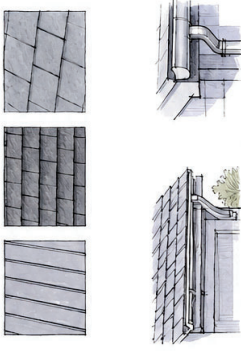
PITCHES

- Roof slopes shall be consistent with traditional building forms and appropriate to the architectural style.
- Pitched roofs are encouraged for residential buildings.
- Flat roofs are permitted for mixed-use and commercial buildings when integrated with parapets or articulated roof edge elements.
- Low-slope roofs are permitted where appropriate to the building type and subject to design review.
- Roof forms shall incorporate variation in roof planes and massing where appropriate to reduce perceived scale and reinforce architectural character.
- Minimum approved pitches on main roof elements:
 - Gable Roofs 4:12 min
 - Hip Roofs 4:12 min
 - Primary Residential Roofs 4:12 min
- Minimum approved pitches on secondary roof elements:
 - Shed Roofs 2:12 min
 - Porch/Canopy Roofs 2:12 min
 - Low Slope Roofs 1/4:12 min
 - Flat Roofs 1/4:12 min



MATERIALS

- Roofing materials shall be durable, high-quality, and appropriate to the architectural character of the building.
- Permitted materials include:
 - Standing seam metal
 - Architectural asphalt shingles
 - Slate or composite roofing
 - PVC roofing systems or Thermoplastic Polyolefin (TPO) for flat or low-slope roofs
- Flat and low-slope roofing systems shall be:
 - Light-colored or reflective to reduce heat gain.
 - Installed with proper drainage and detailing.
- Pre-fabricated or low-quality roofing materials are not permitted.
- Roofing colors shall be selected from the approved color palette and shall be compatible with the overall building design.
- Roof-mounted equipment and penetrations shall be minimized and screened from public view where feasible.
- Equipment shall be located and designed to reduce visibility from public streets and adjacent properties.
- Roofing systems shall be installed with appropriate edge detailing, flashing, and drainage to ensure long-term performance.
- Modified bitumen roofing (for select applications where appropriate) may be considered subject to design review.



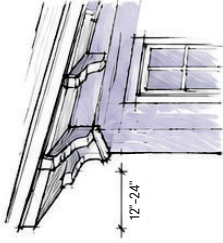
DESIGN STANDARDS

ROOF EDGE STYLES & DETAILS

Roof edges, soffits, overhangs, and roof projections shall reinforce the architectural character and building proportions appropriate to the Main Street District and Fort Howard Overlay District.

EAVES

- Eaves shall be designed to create visible depth and shadow; minimal or flush roof edge conditions are not permitted unless in a parapet condition.
- Eaves shall provide adequate overhang to protect facades and create shadow lines.
- Eave overhang shall be a minimum of 12 inches depending on building type and architectural expression.
- Eave returns shall be clean and continuous, aligning with the overall roof design.

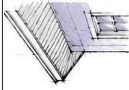


EXPOSED RAFTERS

- Exposed rafters may be used where appropriate to the architectural style.
- Rafters shall be detailed with consistent spacing and finished ends.

SLOPED EAVES / SOFFITS

- Enclosed soffits with a continuous slope are encouraged.
- Soffit conditions shall align cleanly with the exterior wall plane.



FLAT SOFFITS & RETURNS

- Flat soffits are permitted where consistent with the architectural style.
- Transitions between roof forms and wall planes shall be clearly defined.



SOFFIT MATERIALS

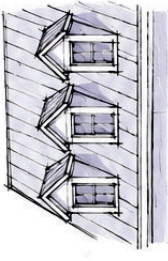
- Soffits shall be constructed of durable, high-quality materials.
- Acceptable materials include:
 - Fiber cement
 - Wood
 - Composite materials
- Venting shall be integrated into the design and not detract from the overall appearance.

ROOF ACCENT FEATURES

Roof elements that break the roofline such as dormers and chimneys shall complement the overall building form and proportions and shall not appear oversized, applied, or decorative without purpose.

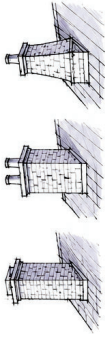
DORMERS

- Dormers are encouraged where appropriate to the building type.
- Dormers shall be proportional to the roof and subordinate to the overall building mass.
- Permitted dormer types include:
 - Gable
 - Shed
 - Hipped
- Dormers shall align with window openings and reinforce the vertical rhythm of the facade.



CHIMNEYS

- Chimneys shall be integrated into the building design and appear visually anchored to the structure.
- When visible from the street, chimneys shall be constructed of masonry or finished to match the primary materials.



ROOF PROJECTIONS & DETAILS

- Roof projections, including overhangs and extensions, shall be consistent with the architectural style.
- Parapets and roof edge conditions shall incorporate finished coping or cap elements consistent with the architectural design.
- Roof penetrations and rooftop accessory elements visible from public streets shall be painted or finished to match adjacent materials.



DESIGN STANDARDS

PORCHES, BALCONIES, CANOPIES

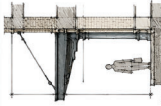
Porches, balconies, and canopies shall contribute to the overall architectural character and pedestrian experience of the Main Street District and the Fort Howard Overlay District. Balconies shall be designed as functional outdoor spaces and shall not appear purely decorative or ornamental. Decorative or non-functional balconies that do not provide usable outdoor space are prohibited.

Porches are a primary element of residential buildings, while canopies and awnings define the ground-floor experience of mixed-use and commercial buildings. These elements shall create depth, shade, and active street frontage.



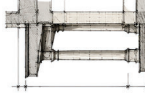
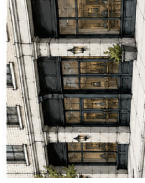
SCALE & DIMENSION

- Porches shall be incorporated where appropriate to the building type and shall contribute to the overall facade composition.
- Porches intended for active use shall have a minimum depth of 5 feet.
- Balconies shall be functional and integrated into the building design and have a minimum depth of 5 feet.
- Upper-level balconies facing primary streets shall complement the facade, provide usable space, and shall not appear decorative or non-functional.



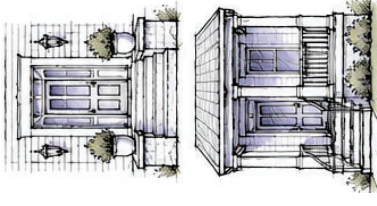
COLUMNS & STRUCTURE

- Columns and supporting elements shall be proportional to the building, aligned with facade rhythm, and visually support the structure above.
- Non-structural or visually unsupported elements are not permitted.
- For mixed-use buildings, columns and structural elements shall align with storefront bays and contribute to the overall facade rhythm.



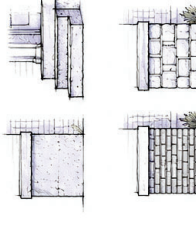
FOUNDATIONS / ENTRIES

- Foundations and entry conditions shall be designed to create a strong visual base and a clear transition between the building and the ground plane.
- For mixed-use buildings, primary entrances shall be directly accessible from the sidewalk and shall not be elevated above grade in a manner that disrupts accessibility or street engagement and shall be integrated into the storefront design.
- Exposed foundation walls shall be finished with durable materials.
- Foundation materials shall be continuous on all visible sides.
- Residential foundations and entry conditions should provide a visually defined transition between the building and the street through stoops, raised entries, porches, or similar architectural elements where appropriate.
- Steps and grade changes shall be coordinated with the facade and entry sequence.



MATERIALS & DETAILING

- Foundation and step materials shall match or complement the primary building materials.
- Detailing shall include defined edges, transitions, and a finished appearance.
- Visible concrete surfaces shall be finished or treated to maintain a consistent aesthetic.



DESIGN STANDARDS

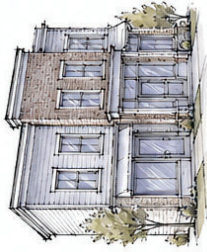
EXTERIOR WALLS AND MATERIALS

Exterior wall materials shall provide durability, depth, and long-term performance while reinforcing the architectural character of the districts. Materials shall be selected and applied to support the scale and type of building, whether townhome or mixed-use.



CONSTRUCTION & APPLICATION

- Exterior wall assemblies shall be constructed in accordance with applicable building codes and industry standards.
- Materials shall be installed to create a finished, durable facade capable of long-term performance in the local climate.
- All facades shall be designed with consistent material application on all visible sides of the building.
- Materials shall wrap corners and terminate cleanly; unfinished or abrupt transitions are not permitted.
- Front facades shall incorporate the highest level of material quality and detailing.



APPROVED MATERIALS

Primary materials shall include:

- Brick
- Cast stone
- Stone
- Stucco (cementitious, smooth or light texture)
- Fiber cement siding (lap, panel, or board-and-batten)
- Wood siding or wood accents (painted or stained)

Secondary / accent materials may include:

- Metal panels (used selectively and integrated into the facade design)
- Architectural shingles (as cladding in limited applications)



PROHIBITED MATERIALS

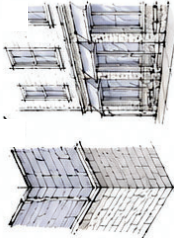
The following materials are not permitted on primary facades:

- Low-quality vinyl or plastic siding materials are prohibited. Higher-quality composite or synthetic siding materials may be considered where compatible with the architectural character and approved by the Design Review Authority.
- Exposed CMU or unfinished concrete block
- Highly reflective or incompatible materials
- Synthetic stone or low-quality imitation materials
- Vertical metal siding systems (unless specifically approved for a design intent)
- Exterior insulation and Finish System (EIFS)

MATERIAL COMPOSITION

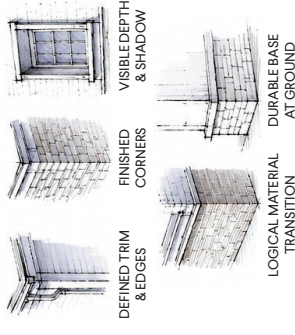
Exterior materials shall reinforce a cohesive architectural character, contribute to long-term durability, and be used consistently across facades. Materials shall not be applied in a manner that appears superficial or decorative.

- Exterior materials shall be limited to a coordinated palette to maintain visual clarity and avoid overly complex facades.
- Buildings shall incorporate no more than two primary materials, with a third allowed as an accent where appropriate.
- Material changes shall occur at logical architectural transitions (corners, offsets, or changes in plane).
- Materials shall be scaled appropriately to the building type.
- Ground-floor materials and detailing shall align with storefront bays and reinforce the vertical rhythm of the facade.
- Ground floors shall incorporate a clearly defined base using durable, high quality materials such as brick, stone or cast stone.
- Upper floors may incorporate lighter materials, provided they remain consistent with the overall design.



FINISHES & DETAILING

- All exterior materials shall comply with the approved color palette.
- Cementitious materials shall be painted or integrally colored.
- Wood elements shall be painted or sealed and maintained over time.
- Exposed concrete surfaces shall be finished or coated to provide a consistent appearance.
- Detailing shall include defined trim and edges, finished corners, and visible depth and shadow lines.



DESIGN STANDARDS

DECORATIVE ELEMENTS

Decorative elements shall enhance architectural character and be proportionate, well-integrated, and consistent with the overall building design.

SHUTTERS

- Shutters, where used, shall be proportionate to the window opening and appear functional.
- Shutters shall be constructed of durable, high-quality materials such as wood or composite.
- Hardware such as hinges and holdbacks is encouraged for a finished appearance.
- Low-quality vinyl shutters are prohibited.



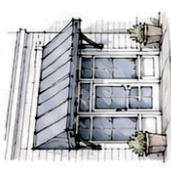
BRACKETS & TRIM ELEMENTS

- Brackets, trim, and similar elements shall be sized and located to appear structurally appropriate.
- Horizontal trim elements shall align with rooflines, openings, or facade transitions.
- Materials shall match or complement the primary facade materials.



AWNINGS & CANOPIES

- Awnings and canopies shall align with storefront bays and reinforce the rhythm and composition of the facade.
- Awnings and canopies shall be proportionate to the openings they serve and integrated into the overall building design.
- Materials shall be durable and consistent with the architectural character of the building.
- Fabric, metal, and similarly durable awning materials are permitted where integrated into the architectural character of the building.
- Internally illuminated awnings are prohibited.
- For mixed-use and commercial buildings, canopies and awnings shall be provided at ground-floor storefronts to provide weather protection and reinforce pedestrian activity.
- Residential primary entrances shall be front-facing and incorporate porches, stoops, canopies, or covered entry elements that reinforce pedestrian engagement, weather protection, and residential character.



DESIGN STANDARDS

OPENINGS

Openings, including doors, windows, and storefront systems, shall contribute to the overall proportion, rhythm, and architectural expression of buildings within the Fort Howard corridor. Openings shall be carefully designed to create depth, reinforce verticality, and support an active and engaging streetscape.

ENTRY DOORS

- Primary entries shall be clearly identifiable and oriented toward the street.
- Entry doors shall be consistent with the architectural style and overall building design.
- Doors shall be constructed of high-quality materials such as wood, metal, and composite materials.
- Glazed door panels are encouraged to enhance transparency and visual connection.
- Entry doors shall include appropriate trim and detailing.
- Accent colors may be used to highlight primary entries and contribute to architectural variety.
- Screen or storm doors, where used, shall be compatible with the overall design.



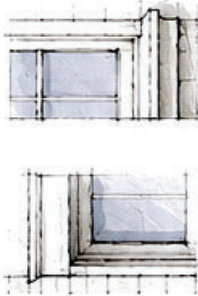
WINDOWS

- Windows shall be proportioned and arranged to complement the overall building massing and facade composition.
- Openings shall be vertically proportioned unless otherwise justified by the building type or architectural style and approved by the Design Review Authority.
- Windows shall align to create a consistent rhythm across the facade.
- Window-mounted air conditioning units are prohibited on facades visible from public streets.



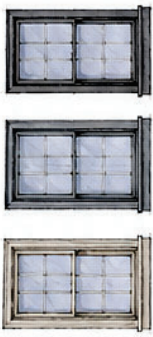
WINDOW DESIGN & DETAILING

- Windows shall be recessed a minimum of 2 inches to create visible depth and shadow.
- Window trim shall be provided on all primary facades and shall be consistent with the architectural style.
- Large expanses of undifferentiated glazing are not permitted on residential facades.
- Windows shall incorporate defined head, sill, and jamb conditions to reinforce depth, shadow, and architectural character.



MATERIALS & FINISHES

- Window frames shall be constructed of durable, high-quality materials.
- Acceptable finishes include:
 - Painted or coated finishes
 - Neutral or dark tones consistent with the approved color palette
- Highly reflective, mirrored, or incompatible glazing is not permitted.



MUNTINS / DIVIDED LIGHTS

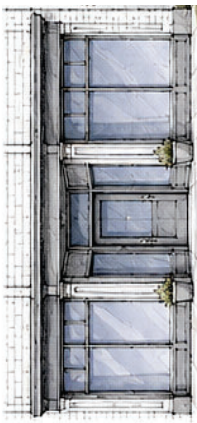
- Where used, muntins shall reinforce vertical proportions and be consistent across each facade.
- Simulated divided lights (SDL) or true divided lights (TDL) are acceptable.



MIXED-USE & COMMERCIAL OPENINGS

Main Street District

- Storefront bays shall align with the architectural rhythm of upper floors.
- Ground-floor storefronts shall provide transparent, vertically proportioned glazing that reinforces pedestrian scale and facade rhythm.
- Openings shall align with the structural bay spacing of the building.
- The primary storefront glazing shall align with the built-to-line plane. Entry doors may be recessed up to 6 feet behind the storefront plane.
- Storefronts shall be recessed from the primary facade plane to create depth and shadow.
- Storefront glazing shall extend from the storefront header or lintel to a sill or base condition located a minimum of 18 inches above adjacent grade.
- Storefront bases shall be constructed of durable materials such as masonry, stone, cast stone, tile, or similar high-quality materials.



DESIGN STANDARDS

GARAGES, PARKING, & ACCESS

Garages, parking areas, and access drives shall reinforce a pedestrian-oriented streetscape and remain secondary to building form and pedestrian activity. Shared parking configurations and accommodations for golf carts may be incorporated where appropriate.

PARKING SCREENING & FRONTAGE CONDITIONS

Main Street District

- Parking shall be located behind buildings or internal to blocks where feasible.
- Front-loaded parking lots are prohibited along primary street frontages.
- Access drives shall be minimized and shared where feasible.
- On-street parking shall be incorporated along primary frontages where feasible to support walkability and traffic calming.
- Curb cuts and drive aisles shall be minimized to reduce conflicts with pedestrians.
- Driveway entrances shall be as narrow as feasible and shared between adjacent properties where possible.
- Driveway widths shall be limited to:
 - 12–14 feet for one-way access
 - 20–24 feet for two-way access
- Drive aisles shall be aligned with side streets or secondary frontages whenever possible.
- Driveway locations shall be coordinated to minimize interruptions to the pedestrian environment and shall not conflict with primary building entrances.

Reduced parking requirements and shared parking strategies may be considered by the design review authority to support walkability, mixed-use development patterns, and efficient land use.

PARKING SCREENING

- Surface parking areas shall be screened from public streets using buildings, landscape buffers, low walls, hedges, or decorative fencing where appropriate.

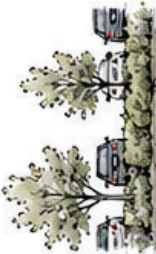
PARKING LOCATED
BEHIND BUILDINGS



12-14 FEET
FOR ONE-WAY ACCESS



20-24 FEET
FOR TWO-WAY ACCESS



RESIDENTIAL GARAGE STANDARDS

TOWNHOMES & MULTI-FAMILY

- Garages and parking access shall be located to minimize visual impacts along primary street frontages.
- Rear-loaded garage access from secondary streets shall be provided where feasible.
- Front-loaded garages may only be permitted where site constraints prevent rear access and approved by the Design Review Authority.
- Garage and parking access shall be integrated into the building design and shall not dominate the streetscape.
- Garage widths shall not exceed 50% of the facade width.
- Surface parking located between buildings and primary street frontages is prohibited.



GARAGE & PARKING DESIGN

- Garage doors shall be simple, durable, and consistent with the architectural style.
- Blank or highly visible garage-dominated facades are not permitted.
- Garage doors shall incorporate detailing that complements the building design, including:
 - Panel articulation
 - Windows or glazing (where appropriate)
 - Trim and framing
- Large, unarticulated garage doors are not permitted.



ACCESSORY STRUCTURES (CARRIAGE HOUSES)

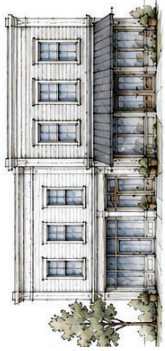
- Accessory structures shall remain subordinate to the primary structure and consistent in materials, roof form, and color palette.



DESIGN STANDARDS

EXTERIOR TRIM

Exterior trim shall define edges, transitions, openings, and rooflines while contributing to a cohesive architectural character. Trim elements shall provide depth, shadow, and visual articulation appropriate to the scale and style of the building.



WINDOW TRIM

- Openings shall incorporate trim, reveals, frames, or equivalent detailing appropriate to the building type and style.
- Trim shall be consistent in size and profile across each facade.
- Trim depth shall create visible shadow lines and shall not be flush with the wall surface.



DOOR TRIM

- Primary entrances shall incorporate defined framing recesses, surrounds, canopies, or equivalent architectural detailing appropriate to the building type.
- Garage doors (where applicable) shall include trim or detailing to integrate them into the facade.



TRANSITION TRIM & ROOF EDGE ELEMENTS

- Buildings shall incorporate defined transition trim or roof edge elements between wall and roof planes to create a finished and cohesive architectural composition.
- Transition elements shall provide a clear termination of materials and reinforce the overall composition.
- Trim and roof edge elements shall be scaled appropriately to the building type and architectural style:
 - Larger-scale buildings shall incorporate proportionally larger trim and roof edge elements.
 - Smaller-scale residential buildings shall incorporate finer detailing.



FASCIA & ROOF EDGE TRIM

- Fascia boards and roof edge elements shall be proportionate to the roof structure and consistent with the architectural style.
- Roof edge trim shall provide a clean and continuous termination of roofing materials.
- Exposed rafter tails may be used where appropriate and shall be detailed consistently.



MATERIALS & FINISHES

- Trim materials shall be durable and appropriate for exterior use, including:
 - Wood
 - Fiber cement
 - Composite materials
- Trim shall be painted or finished in accordance with the approved color palette.
- Trim shall be maintained to preserve the intended architectural character.



APPLICATION BY BUILDING TYPE

Mixed-Use & Commercial Buildings

- Trim and facade detailing shall reinforce storefront bays, upper-level openings, and overall building composition.
- Larger buildings shall incorporate detailing that reinforces vertical rhythm, facade transitions, and proportional openings.



Townhomes & Multi-Family

- Trim and facade detailing shall reinforce vertical divisions between units while maintaining an overall cohesive composition.
- Window and door trim shall align with the architectural rhythm and proportions of each unit.



DESIGN STANDARDS

COLOR PALETTE

Exterior colors shall be selected from the approved color palette to reinforce a cohesive architectural character throughout the districts. Color selections should complement building form, materials, and adjacent development patterns.

Main Street District

Color palettes shall reinforce traditional downtown character through masonry tones, muted storefront colors, and restrained accent applications.

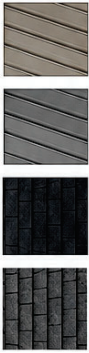
Fort Howard Overlay District

Residential color palettes may incorporate slightly greater variation while maintaining compatibility with adjacent buildings and the overall district palette.



ROOF COLORS

- Flat and low-slope roofing systems shall be light colored and/or reflective to reduce heat gain.
- Sloped roofs shall use neutral colors that are consistent with the approved palette. Acceptable tones include:
 - Dark gray
 - Black
 - Weathered metal tones
- Highly reflective or bright-colored roofing materials are not permitted
- Gutters and downspouts shall coordinate with roof or trim colors and be finished in neutral or complementary tones.



PRIMARY WALL COLORS

- Primary facade colors shall be selected from the approved palette and shall establish the dominant character of the building.
- Colors shall be muted, timeless, and compatible with adjacent development.
- Large expanses of bright or highly saturated colors are not permitted.

TRIM & ACCENT COLORS

- Trim colors shall be selected from the approved palette and used to define windows, doors, corners, edges, and architectural details.
- Accent colors may be used selectively to highlight entries, doors, and architectural features.

WINDOW & DOOR COLORS

- Window frames shall be finished in neutral tones such as:
 - White
 - Black
 - Brown
 - Gray
 - Dark Bronze
- Window colors shall be consistent across each facade.
- Doors may incorporate accent colors from the approved palette to create visual interest and reinforce entry locations.



APPLICATION BY BUILDING TYPE

Mixed-Use & Commercial Buildings

- Ground-floor storefronts shall maintain a cohesive color scheme that aligns with the overall building composition.
- Upper floors shall utilize colors that complement the base and reinforce vertical hierarchy.



Townhomes & Multi-Family

- Color variation shall be used to differentiate individual units while maintaining overall cohesion.
- Repetition of identical color combinations shall be minimized and coordinated through the design review process.



GENERAL APPLICATION

- Color transitions shall occur at logical architectural breaks and shall not appear arbitrary.
- All color applications shall be consistent across all visible sides of the building.
- The Design Review Authority may require adjustments to color selections to ensure compatibility and avoid repetitive patterns.

DISTRICT PALETTE OVERVIEW

MAIN STREET DISTRICT				FORT HOWARD OVERLAY DISTRICT			
WALLS				WALLS			
#F5D9A7	#E4C1C7	#F0C8AE	#C8B9A3	#E4B9A8	#C8B9A8	#C8B9A8	#E4B9A8
#F7A9A9	#E4C1C7	#F0C8AE	#C8B9A3	#F7A9A9	#E4C1C7	#F0C8AE	#C8B9A3
TRIM				TRIM			
#F7A9A9	#E4C1C7	#F0C8AE	#C8B9A3	#F7A9A9	#E4C1C7	#F0C8AE	#C8B9A3
ACCENTS				ACCENTS			
#F7A9A9	#E4C1C7	#F0C8AE	#C8B9A3	#F7A9A9	#E4C1C7	#F0C8AE	#C8B9A3